

CONCEPT PLAN GENERAL NOTES:

This plan references documents and information provided by: METZ ENGINEERS and GIS Soil and topographic data. Dated: 2/25/13

1. This concept was prepared strictly based upon information identified above.
2. The concept represented herein identifies a design concept resulting from layout preferences identified by the owner in addition to a preliminary review of zoning and land development requirements. The feasibility with respect to obtaining local, county, state and other applicable approvals are not warranted and can only be assessed after further examination and verification of same requirements and procurement of jurisdictional approvals.
3. This concept plan is prepared for conceptual presentation purposes only and is not intended for utilization as a zoning and/or construction document. The existing conditions shown herein are based upon information that was supplied to our office at the time of plan preparation and may be subject to change and must be updated upon performance of additional due diligence.

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 LANDSCAPE ARCHITECTURE

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32 SINGLE FAMILY DETACHED LOTS
 - Min. lot size: 70' x 120' (8,000 sf required)
 - Min. lot width: 70' (70' required)
 - Min. front yard: 28' (25' required)
 - Min. rear yard: 40' (40' required)
 - Min. side yard: 5' 20' (5' 20' required)

27 TOWNHOUSES
 - Min. lot size: 24' x 142' (2,200 sf required)
 - Min. lot width: 24' (22' required)
 - Min. front yard: 28' (5'; 20' from garage required)
 - Min. rear yard: 40' (40' required)
 - Min. building spacing: 30' (30' required)

QUADS - 4 UNITS / BUILDING
 - 32 units @ 4 units/ building proposed
 - Min. lot size: 140' x 183' (8,000 sf/ bldg. required)
 - Min. front yard: 15' (15' required)
 - Min. rear yard: 30' (30' required)
 - Min. side yard: 12' (12' required)
 - Min. building spacing: 30' (30' required)

CONDOMINIUM, ASSISTED LIVING AND/ OR CCRC CONTINUING CARE RETIREMENT COMMUNITY
 - 38 units proposed
 - Min. lot area per unit.: 2,930 sf (1,030 sf required)
 - Max. height: 45' - 60' (75' required)
 - Max. horizontal dimension: 242' (180' required)
 - Min. setback from street: 318' (100' required)
 - Min. setback from property line: 546' (150' required)

SITE DATA:

TOTAL RESIDENTIAL TRACT AREA: 37.39 AC (Gross); 37.06 AC (Excluding ROW)
EXISTING ZONING: Planned Commercial District: PC-1
 Rural Residential District: RR (Proposed PC-1 Zoning District)

NATURAL RESOURCE PROTECTION AND DENSITY CALCULATION:

RESIDENTIAL PARCEL	
SITE AREA	37.39 AC
Less Existing/ Ultimate ROW	- 0.33 AC
Less Utility ROW	- 0 AC
BASE SITE AREA	37.06 AC
NET BUILDABLE SITE AREA	25.94 AC (Base site area - 30% of Base site area= 37.06 - 11.12)

MAX. DENSITY: 5 DU/AC x 29.54 AC = 129 DU

PROPOSED YIELD:

RESIDENTIAL PARCEL: Retirement Village	
Single Family Detached Lots:	32 (24.8%)
Quads	32 (24.8%)
Townhouses:	27 (20.9%)
Condominium Units:	38 (29.5%)
Total:	129 du (4.97 du/ 1 net buildable ac)

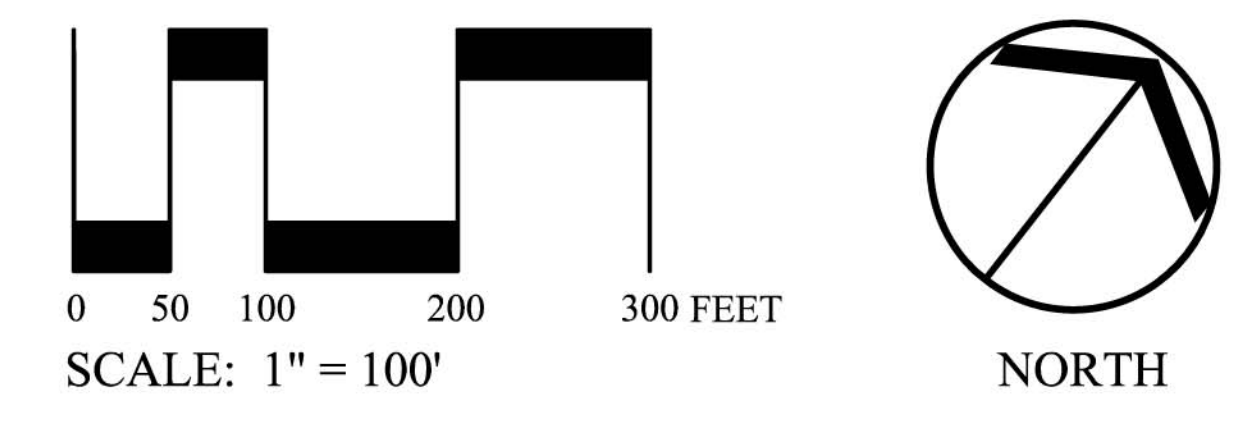
OPEN SPACE PROVIDED: 42.50% OF BASE SITE AREA OR 15.75 AC
 (Residential Parcel) (Not including stormwater management area)

COMMERCIAL PARCEL:

DINE-IN MOVIE THEATER:	20.54 AC
42,070 SF	
BOWLING ALLEY:	49,300 SF (Including possible retail 13,600 sf)
RESTAURANTS:	19,600 SF @ 4,900 SF EACH
RETAIL:	26,600 SF @ 13,300 SF EACH
CONVENIENCE COMMERCIAL:	6,200 SF
OFFICE:	27,300 SF
TOTAL PROPOSED BUILDING AREA:	171,070 SF
TOTAL PARKING PROVIDED:	660 SP @ 3.86 SP/ 1,000 SF

SOURCES:

1. The base information including property outbounds, existing streets, structures, vegetation, streams, floodplains, adjacent properties, and utility easements taken from a plan prepared by Metz Engineers, Inc., dated 2-25-13 and GIS topographic and soil data.



SKETCH PLAN
Country View at Hilltown
 HILLTOWN TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

DATE: 02/18/15 (cj)
 REV.: 11/2/15 (cj)
 11/10/15 (cj)
 12/09/15 (cj)

PROJECT #: 14-106

Sketch Plan

SHEET:
SP